

LOCATION & INDEX MAP
NOT TO SCALE

LEGEND:

- | | |
|--------------|-------------------------|
| EXIST. ELEC. | EXISTING ELECTRIC |
| TEL. | TELEPHONE |
| C.T.V. | CABLE TELEVISION |
| SAN. SWR. | SANITARY SEWER |
| ESM'T. | EASEMENT |
| R.O.W. | RIGHT-OF-WAY |
| B.LDG. | BUILDING |
| C.B. | COUNTY BLOCK |
| O.R.B. | OFFICIAL PUBLIC RECORDS |
| | OF REAL PROPERTY |
| | 1/2" IRON ROD FOUND |
| | 1/2" IRON ROD SET |

- NOTES:
1. ROTATE BEARING 00° 20' 07" COUNTERCLOCKWISE TO OBTAIN STATE PLAN COORDINATE BEARING SYSTEM.
 2. STATE PLANE COORDINATES AS SHOWN HEREON WERE DERIVED FROM G.P.S. OBSERVATION AS OBTAINED FROM GEODETIX, INC.

SCALE: 1" = 100'
BEARINGS BASED ON THE
NORTHEAST RIGHT-OF-WAY
LINE OF GOLF VISTA BLVD.
BEING N 43° 04' 14" W.
(REF.: VOLUME 9514, PAGE 17)

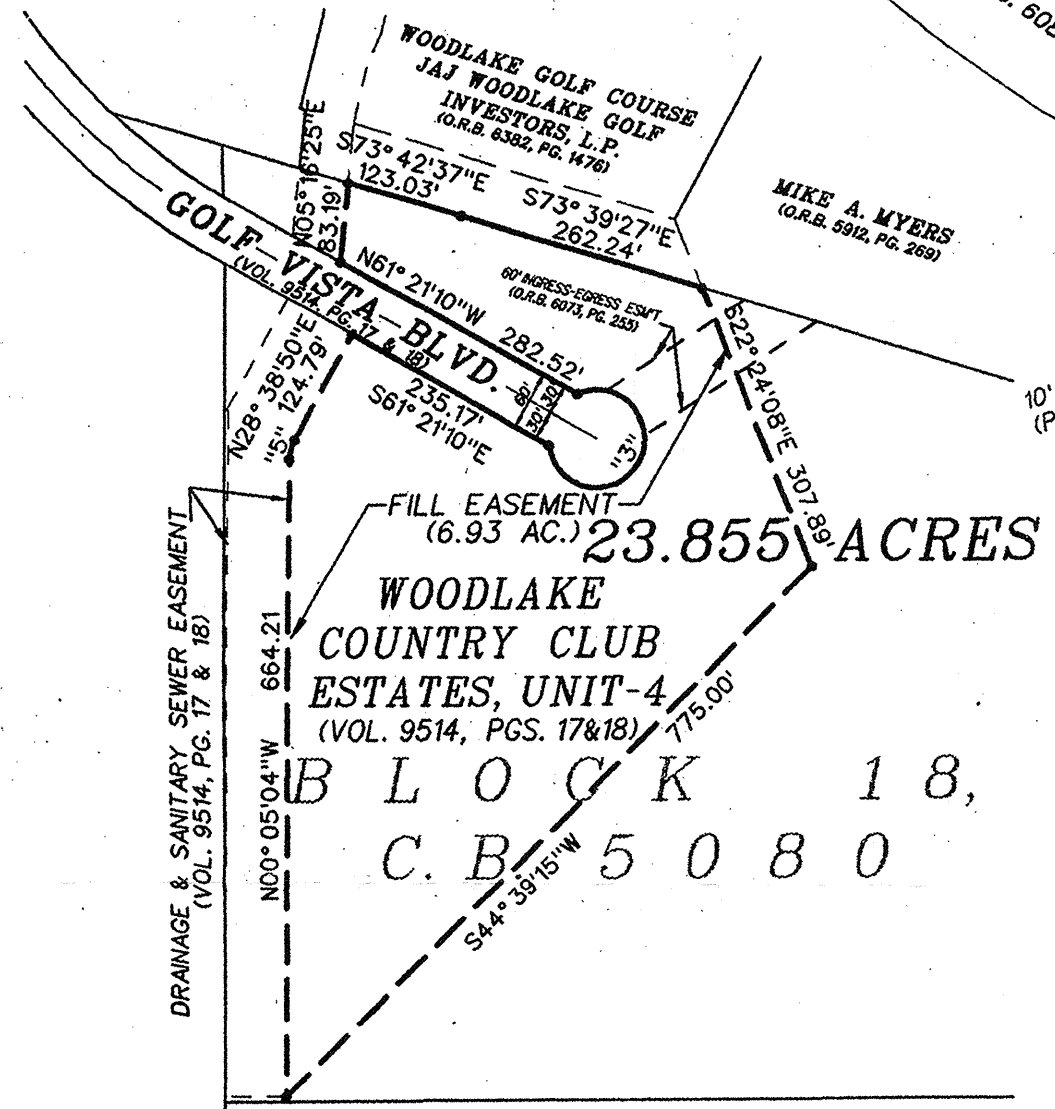
REPLAT AND SUBDIVISION PLAT
ESTABLISHING
WOODLAKE COUNTRY CLUB ESTATES,
UNIT-4A

BEING LOT 5 (46.589 ACRES), BLOCK 18, C.B. 5080,
BEING OUT OF A CALLED 23.855 ACRE TRACT AND OUT
OF A 58.963 ACRE TRACT BOTH DESCRIBED AND RECORDED
IN OFFICIAL PUBLIC RECORDS OF REAL PROPERTY BOOK
6484, PAGE 1451, OF BEXAR COUNTY, TEXAS.

*The variable width drainage easements were delineated to contain the boundaries of the 100 year flood zone established by the Federal Emergency Management Agency (FEMA) in accordance with FIRM Panel 476 & 477 of 900, Map Number 4802900476 E and 4802900477 E, dated February 16, 1996. Construction within these easements is prohibited without the prior written approval of the Bexar County Flood Plain Administrator. Bexar County Public Works shall have access to these drainage easements as necessary.

CURVE DATA

NO.	RADIUS	DELTA	TANGENT	LENGTH	CD BEARING	CD DIST.
"3"	50.00'	286°15'37"	---	249.81'	N28°38'50"E	60.00'
"4"	686.13'	01°31'20"	9.11'	18.23'	N60°35'29"W	18.23'
"5"	41.50'	28°43'54"	10.63'	20.81'	---	---



AREA BEING REPLATTED
THROUGH A PUBLIC HEARING
A PORTION OF
WOODLAKE COUNTRY CLUB ESTATES,
UNIT-4

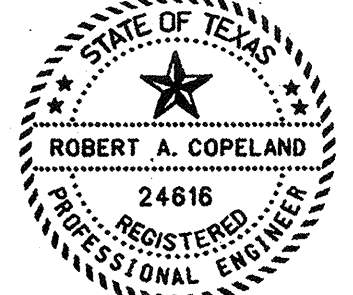
BEING A PORTION OF A 6.93 ACRE FILL EASEMENT
WOODLAKE COUNTRY CLUB ESTATES, UNIT-4
RECORDED IN VOLUME 9514, PAGES 17 & 18, DEED
& PLAT RECORDS, BEXAR COUNTY, TEXAS.

THE AREA BEING REPLATTED WAS PREVIOUSLY PLATTED ON A PLAT KNOWN AS
WOODLAKE COUNTRY CLUB ESTATES, UNIT-4 RECORDED IN VOLUME 9514, PAGES
17 & 18, BEXAR COUNTY, PLAT AND DEED RECORDS.

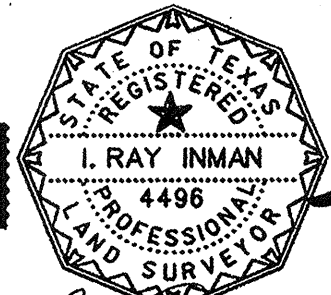
THE OWNER OF THE LAND SHOWN ON THIS REPLAT HEREBY CERTIFY THAT
THIS REPLAT DOES NOT AMEND OR REMOVE ANY COVENANTS OR RESTRICTIONS.
FURTHER CERTIFY THAT THE AREA OF THIS REPLAT WAS DESIGNATED OR
RESERVED FOR OTHER THAN SINGLE OR DUPLEX FAMILY RESIDENTIAL USE BY
NOTATION ON THE LAST LEGALLY RECORDED PLAT IN THE LEGALLY
RECORDED RESTRICTIONS APPLICABLE TO THE PLAT.

OWNER'S DULY AUTHORIZED AGENT
John L. Carmona
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
SWORN TO AND SUBSCRIBED BEFORE ME THIS 23 DAY OF MARCH 1998.
MY COMMISSION EXPIRES: 5-20-2002

JOSE L. CARMONA
Notary Public, State of Texas
My Comm. Exp. 05/20/02



JOSE L. CARMONA
Notary Public, State of Texas
My Comm. Exp. 05/20/02



ON THIS 9th DAY OF JUNE 1998
ATTESTED: *John L. Carmona*
COUNTY CLERK, BEXAR COUNTY, TEXAS

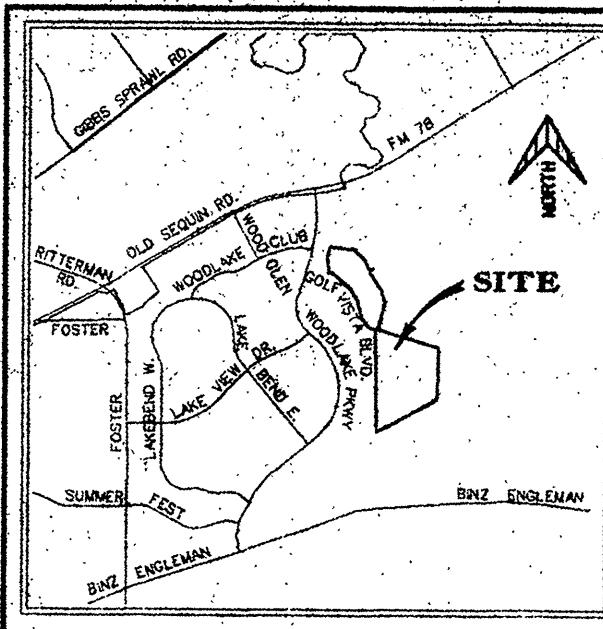
STATE OF TEXAS
COUNTY OF BEXAR
I HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL
SURVEY OF THE PROPERTY MADE ON THE GROUND UNDER MY SUPERVISION.
SWORN TO AND SUBSCRIBED BEFORE ME THIS 23 DAY OF MARCH 1998.
A.D. 19 98
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

THIS PLAT OF WOODLAKE COUNTRY CLUB ESTATES, UNIT-4A HAS BEEN
SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO,
TEXAS AND IS HEREBY APPROVED BY SUCH COMMISSION.
DATED THIS 12th DAY OF JUNE 1998
BY *John L. Carmona* SECRETARY
BY *John L. Carmona* CHAIRMAN

This drainage easement will be modified after drainage
calculations are submitted, approved by the City of
San Antonio Public Works Department and the Bexar
County Public Works Department and forwarded to FEMA
for a Letter of Map Revision.

MACINA, BOSE, COPELAND & ASSOCIATES, INC.
CONSULTING ENGINEERS AND LAND SURVEYORS
415 Breesport Drive, San Antonio, Texas 78216
27060

NOTE: "WASTEWATER EDU NOTE. THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE AT THE SAN ANTONIO WATER SYSTEM UNDER THE PLAT NUMBER ISSUED BY THE PLANNING DEPARTMENT."
NOTE: THE CITY OF SAN ANTONIO AS A PART OF ITS ELECTRIC AND GAS SYSTEM (CITY PUBLIC SERVICE BOARD) IS HEREBY DEDICATED THE EASEMENTS AND RIGHT-OF-WAY FOR ELECTRIC AND GAS DISTRIBUTION AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT", "GAS EASEMENT", "ANCHOR EASEMENT", "SERVICE EASEMENT", "OVERHANG EASEMENT", "UTILITY EASEMENT", AND "TRANSFER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING POLES, HANGING OR BURYING WIRES, CABLES, CONDUITS, PIPELINES OR TRANSDUCERS, EACH WITH ITS NECESSARY APPURTENANCES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LAND, THE RIGHT TO RELOCATE SAID FACILITIES WITHIN SAID EASEMENT AND RIGHT-OF-WAY AREAS, AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENHANCE OR MAY INTERFERE WITH THE EFFICIENCY OF SAID LINES OR APPURTENANCES THEREON. IT IS AGREED AND UNDERSTOOD THAT NO BUILDINGS, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN SAID EASEMENT AREAS.
ANY OPS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF OPS EQUIPMENT, LOCATED WITHIN SAID EASEMENT DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATION.
THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED BELOW.
1. FILL EASEMENT AS SHOWN.



LOCATION MAP
NOT TO SCALE

DESCRIPTION NOTES
69.278 ACRE
BEXAR COUNTY, TEXAS

BEING A 69.278 ACRE TRACT OF LAND COMPRISED OUT OF A 9.814 ACRE TRACT WHICH IS OUT OF THE REMAINING PORTION OF LOT 1, BLOCK 18, C.B. 5080, PLATTED WITH WOODLAKE VILLAGE IN VOLUME 9504, PAGE 293, DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS AND THE REMAINDER BEING OUT OF A 98.485 ACRE TRACT WHICH IS FOUND RECORDED IN VOLUME 5615, PAGE 912, DEED AND PLAT RECORDS WHICH IS OUT OF A 253.8 ACRE TRACT OUT OF THE JOSEFA LEAL ORIGINAL SURVEY NO. 39, ABSTRACT 120, C.B. 5080 RECORDED IN VOLUME 1273, PAGE 518, DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS, SAID 69.278 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY DESCRIPTION NOTES AS FOLLOWS:

BEGINNING: At a point on the north right-of-way line of Golf Vista Blvd. (a dedicated varying width right-of-way) said point being the southwest corner of the remaining portion of Lot 1, Block 18, C.B. 5080;

THENCE: N 04°45'54" W 297.88 feet to an angle point;

THENCE: N 14°13'35" E 230.54 feet to a point for the northwest corner of the aforementioned Lot 1;

THENCE: S 82°25'16" E 488.53 feet to an angle point;

THENCE: S 44°15'40" E 311.63 feet to an angle point;

THENCE: S 22°38'11" E 160.78 feet to an angle point;

THENCE: S 27°55'57" E 275.47 feet to an angle point;

THENCE: S 35°47'49" E 254.61 feet to an angle point;

THENCE: S 12°48'12" E 296.20 feet to an angle point;

THENCE: S 13°47'31" W 512.26 feet to an angle point;

THENCE: S 73°42'37" E 5.21 feet to an angle point;

THENCE: S 05°16'25" W 61.12 feet to an angle point;

THENCE: S 73°42'28" E 176.03 feet to an angle point;

THENCE: S 73°39'27" E 1121.79 feet to a point for the northeast corner of this 69.189 acre tract;

LEGEND

- Fire Hydrant
- Sanitary Sewer Manhole/Cleanouts
- Concrete Curb
- Contour Line
- Water Line
- Sanitary Sewer Line
- Pavement (Private Streets, Drainage & Utility Easement)



SCALE: 1" = 100'

THENCE: S 02°23'03" W 588.86 feet to an angle point;
THENCE: S 01°46'41" W 472.98 feet to a point for the southeast corner of this 69.189 acre tract;
THENCE: S 61°52'52" W 1431.41 feet to a point for a corner;
THENCE: N 00°26'23" W 2032.44 feet to an angle point;
THENCE: N 01°13'05" W 89.94 feet to a point;
THENCE: N 73°42'37" W 127.14 feet to a point on the curved northwest right-of-way line of Golf Vista Blvd. (a dedicated 60 foot right-of-way);

THENCE: The following courses and distances are along the northwest right-of-way line of Golf Vista Blvd.: 505.80 feet along a curve to the right which has a radius of 686.13 feet a central angle of 42°13'15", a chord bearing and distance of N 25°54'17" W 494.24 feet to a point for a reverse curvature to the left;

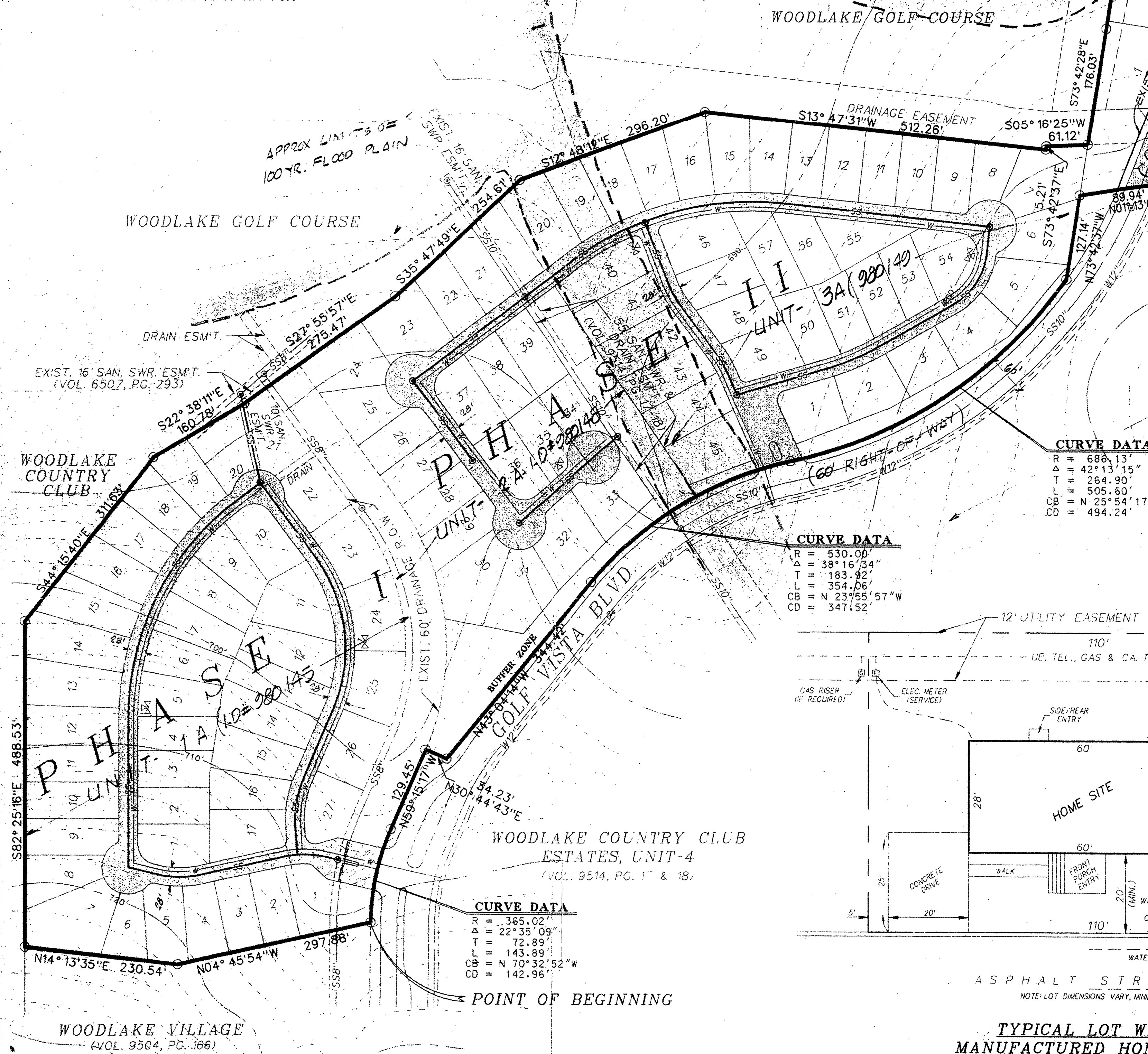
354.06 feet along said curve to the left which has a radius of 530.00 feet a central angle of 38°16'34", a chord bearing and distance of N 23°55'57" W 347.52 feet to the point of tangency;

N 43°04'14" W 344.42 feet to a point;

N 30°44'43" E 34.23 feet to a point;

N 59°15'17" W 129.45 feet to a point of curvature of curve to the left;

143.89 feet along said curve to the left which has a radius of 365.02 feet a central angle of 22°35'09", a chord bearing and distance of N 70°32'52" W 142.96 feet, to the POINT OF BEGINNING of this 69.278 acre tract.



CURVE DATA

R = 686.13'
Δ = 42°13'15"
T = 264.90'
L = 505.60'
CB = N 25°54'17" W
CD = 494.24'

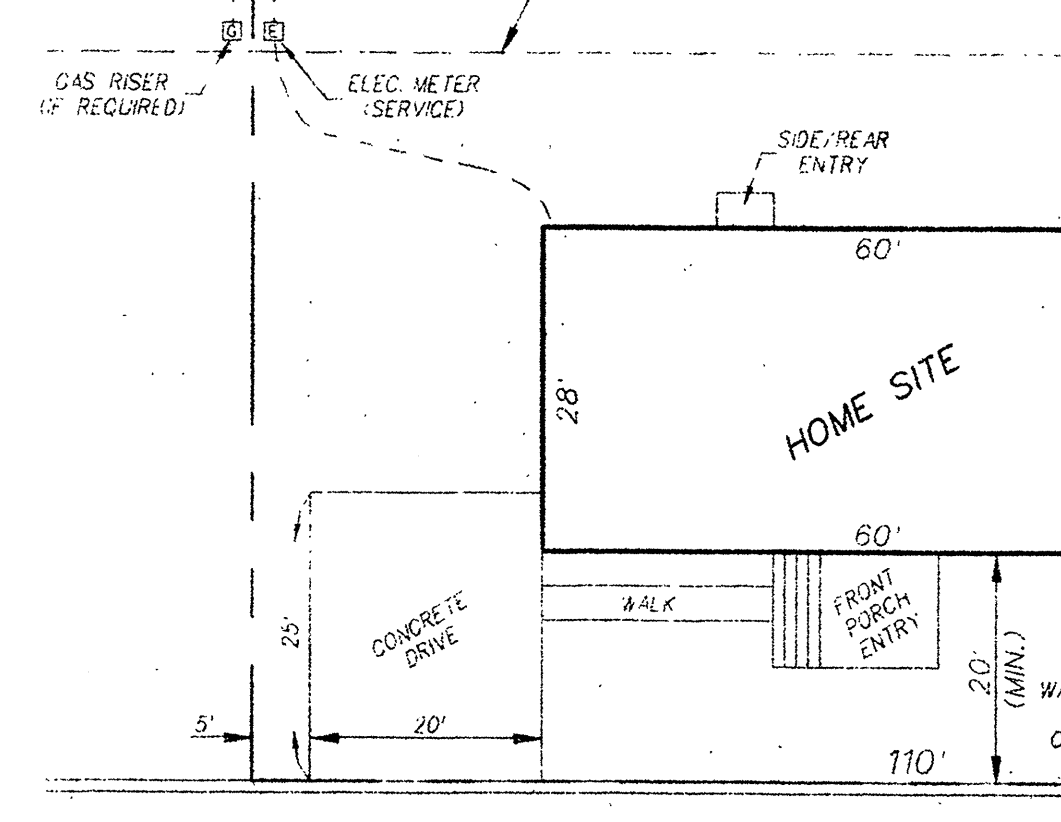
CURVE DATA

R = 530.00'
Δ = 38°16'34"
T = 193.82'
L = 394.06'
CB = N 23°55'57" W
CD = 347.52'

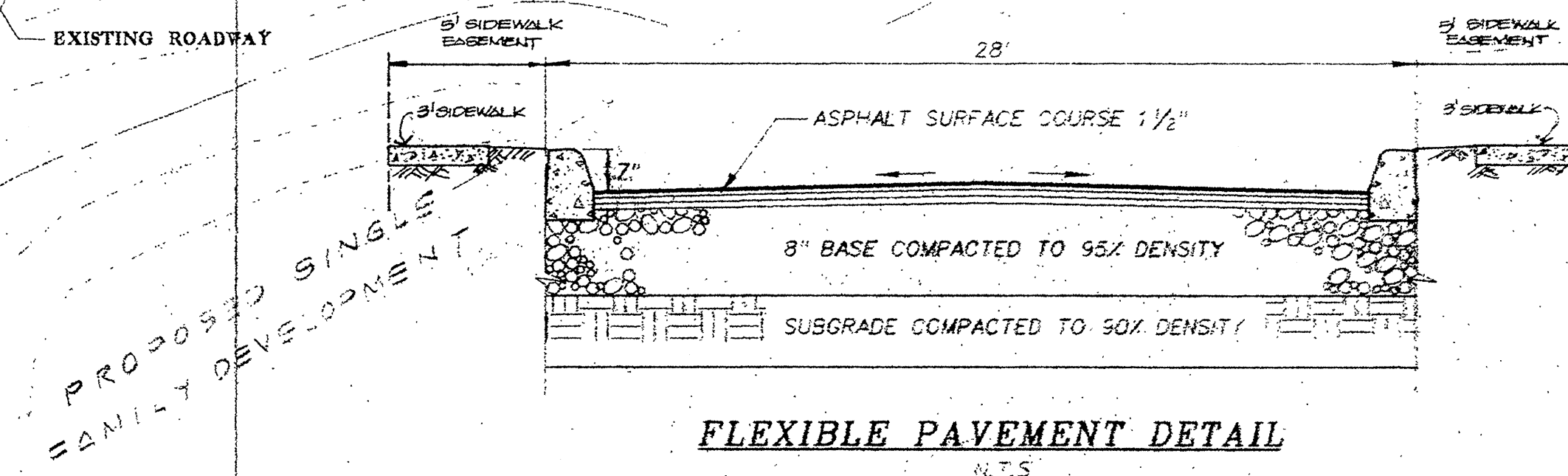
CURVE DATA

R = 365.02'
Δ = 22°35'09"
T = 72.89'
L = 143.89'
CB = N 70°32'52" W
CD = 142.96'

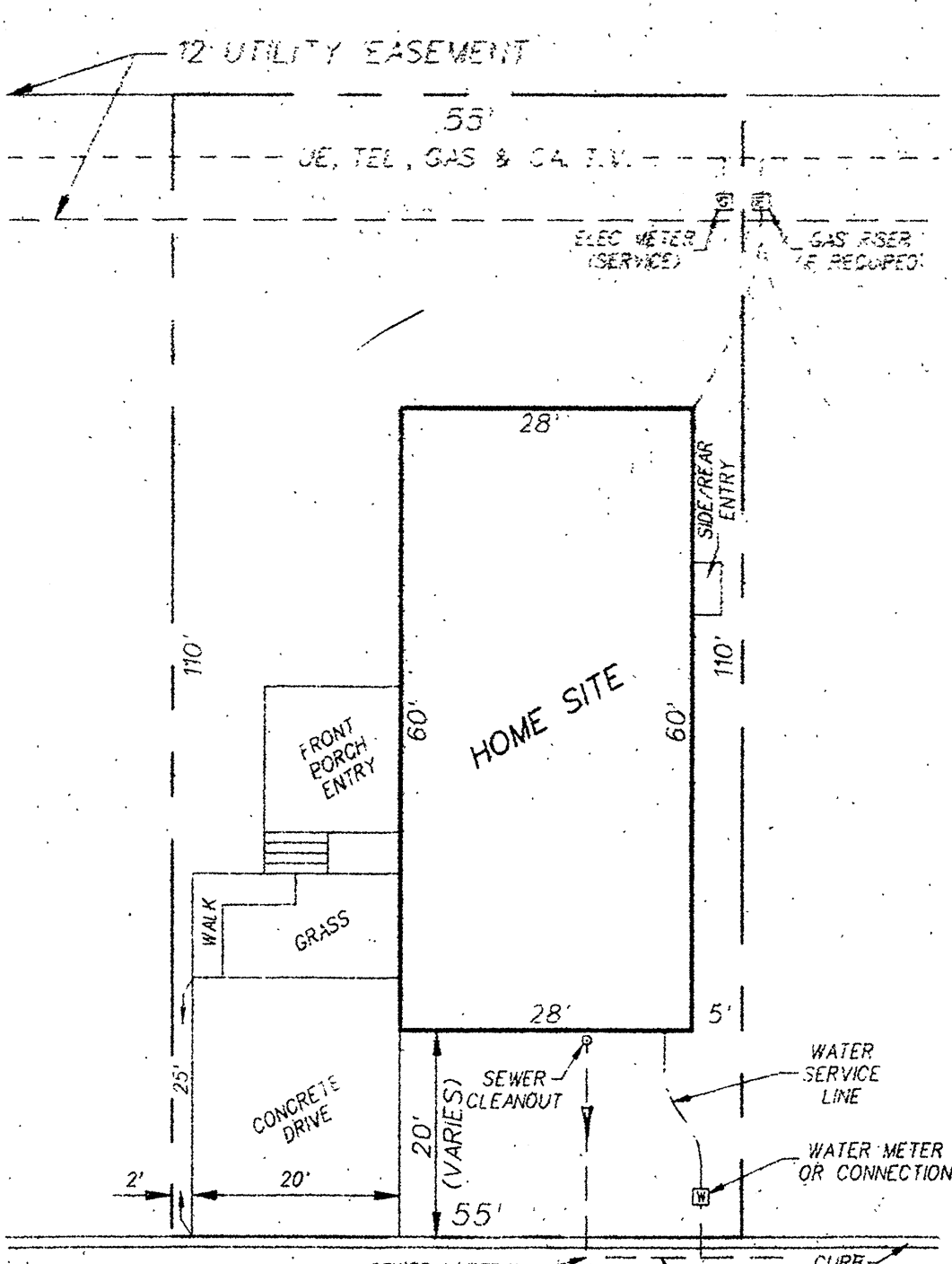
12' UTILITY EASEMENT
UE, TEL., GAS & CA. T.V.



TYPICAL LOT WITH MANUFACTURED HOME SITE
NOTE: LOT DIMENSIONS VARY, MINIMUM FRONTAGE IS 55' EXCEPT IN CUL-DE-SACS



FLEXIBLE PAVEMENT DETAIL
N.T.S.



TYPICAL LOT WITH MANUFACTURED HOME SITE
NOTE: LOT DIMENSIONS VARY, MINIMUM FRONTAGE IS 55' EXCEPT IN CUL-DE-SACS

OPEN SPACE SUMMARY

TOTAL ACRES OF TRACT - 69.278 ACRES
TOTAL NUMBER OF SPACES - 316
OPEN SPACE REQUIREMENT - 31600 SQ. FT. PER LOT OR 31,600 SQ. FT. OPEN SPACE PROVIDED IN PARK - 31,600 SQ. FT.

NOTE: SUBJECT TRACT IS LOCATED OUTSIDE THE CITY OF SAN ANTONIO, BUT IS WITHIN THE CITY'S ZONING

PLAN HAS BEEN ACCEPTED BY
COSA
4-27-98
(date)
603
(number)
If no plans are filed, plan will expire on 10-27-99
1st plat filed on

SOURCE OF WATER: SAN ANTONIO WATER SYSTEM
SEWAGE DISPOSAL: SAN ANTONIO RIVER AUTHORITY

THIS R.O.A.D.R. AND
This Manufactured Home Park Plan for Ashby Park has been considered and is hereby approved by the Planning Commission of the City of San Antonio, Texas. Dated this _____ day of _____, 1998.

By: _____ Chairman
By: _____ Secretary

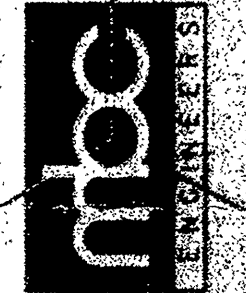
STATE OF TEXAS
COUNTY OF BEXAR

I hereby certify that this plan is true and correct and if approved by the Planning Commission, all development will be in accordance with this plan, and no alterations will be made to this plan after approval.

Owner or authorized agent

OWNER/DEVELOPER: JH BIGGER COMPANY
4520 SPICEWOOD SPRINGS RD., SUITE 100,
AUSTIN, TEXAS 78759

MAGINA • BOSE • COPELAND & ASSOC., INC.
CONSULTING ENGINEERS AND LAND SURVEYORS
45 Breasport Drive, San Antonio, Texas 78202
(210) 349-9585 Fax (210) 349-9202



ASHBY PARK
MANUFACTURED HOME PARK PLAN
R.O.A.D.R.

REVISIONS	DATE	NO.	DESCRIPTION	BY
DESIGN			JLC	
DRAWN			DAG	
CHECKED			<i>MC</i>	
DATE			11-21-97	
JOB NO.			27060	
SHT			1 of 1	



City of San Antonio
New
Vested Rights Permit
Application

RECEIVED
 04 MAR -8 PM 3:24
 LAND DEVELOPMENT
 SERVICES DIVISION

Permit File: # 04-03-077
 Assigned by city staff

Date: February 27, 2004

1. All applicable information on application must be legibly printed or typed for processing. *If application is completed on behalf of the property owner please attach power of attorney or letter of agent*
2. Please complete subject of application and attach 2 set of all applicable documents (i.e. this application, Master Development Plan, P.U.D. plan, plat applications, approved plat, building permit) along with appropriate fee.

Note: All Applications must have a Site Map showing the Area Boundary (Attached).

Owner/Agent Harlan Roberts Phone: (361) 758-3598 Fax: _____
 Address: 225 South McCampbell, Port Aransas, Texas Zip: 78336
 Engineer/Surveyor: Macina, Bose, Copeland & Assoc., Inc. Phone: (210) 545-1122 Fax (210) 545-9302
 Address: 1035 Central Parkway North, San Antonio, Texas Zip: 78232

1. Name of Project: WOODLAKE TRAILS, PHASE II
2. Site location or address of Project: Off of F.M. 78 and Golf Vista Blvd.

3. Council District n/a ETJ Y Over Edward's Aquifer Recharge ☐ yes ☒ no
4. What is the specific purpose of this Project and the expected use(s) to be created by this Project (type of development, number of buildings, type of building(s), specific use(s) of those buildings, etc.)? *Please be aware that the city must understand exactly what this Project is expected to accomplish in order to evaluate this application.*

Type of Development -	Subdivision
Number of Buildings -	86
Type of Buildings -	Single Story Manufactured Homes
Specific Use -	Residences
5. What is the date the applicant claims rights vested for this Project? May 13, 1998
6. What, if any, construction or related actions have taken place on the property since that date?
None

7. By what means does the applicant claim rights vested for this Project? *Please specify all that may be applicable.*

• **PERMIT**

Type of Permit: _____ Date of Application _____
 Permit Number: _____ Date Issued: _____
 Expiration Date: _____ Acreage: _____

• **MASTER DEVELOPMENT PLAN (MDP) (Formerly POADP)***

accepted prior to September 1, 1997 are subject to permit right conditions within 18 months from the effective date of the development rights ordinance (9/25/97) and projects submitted after September 1, 1997 are subject to 18 months for the POADP acceptance date.

Name: Ashby Park # 603

Date accepted: 04/27/98 Expiration Date: n/a MDP Size: 68.362 acres

• **P.U.D. PLAN**

Name: _____ # _____

Date accepted: _____

• **Plat Application**

Plat Name: _____ Plat # _____ Acreage _____

Date submitted: _____ Expiration Date: _____

(Note: Plat must be approved within 18 months of application submittal date)

• **Approved Plat**

Plat Name: Woodlake Country Club Estates, Unit-4A Plat # 980154 Acreage: 46.589 Approval

Date: 05/13/98 Plat Recording Date: 05/15/98 Expiration Date: _____ Vol./Pg. 9540/148

(Note: If plat is not recorded within 3 years of plat approval permit right will expire).

• **Others**

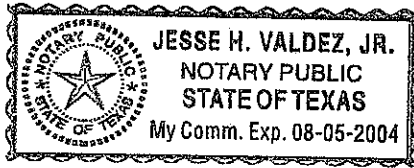
NOTE: Filing a knowingly false statement on this document, or any attached document, is a crime under §37.02 and §37.10 of the Texas Penal Code, punishable as a state jail felony by up to two years in jail and fine of up to \$10,000.

Permit File # 09.03.077

I hereby certify that all information this Application and the attached documents is true and correct and that it is my belief the property owner is entitled to Vested Rights for this Project.

Print name: Robert A. Copeland, Jr. Signature: [Signature] Date: 3/3/04

Sworn to and subscribed before me by Robert A. Copeland, Jr. on this 3rd day of March in the year 2004, to certify which witness by hand and seal of office



[Signature]
Notary Public, State of Texas

City of San Antonio use

Permit File: # _____
Assigned by city staff

Date: _____

☒ **Approved**

☐ **Disapproved**

Review By: [Signature] Date: 3/25/04

Comments: As of April 27, 1998
DATE OF APPROVAL FOR P.O.A.D.P# 603
HENRY PARK



City of San Antonio

Vested Rights Permit APPLICATION

Permit File: #VRP 04-02-077

Received: March 9, 2004

DEV. SERVICES
2004 MAR 26 A 2:20

RECOMMENDATION OF THE CITY ATTORNEY'S OFFICE

CONFIDENTIAL ATTORNEY-CLIENT COMMUNICATION

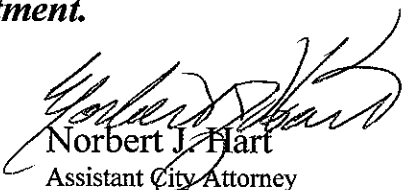
*Not Subject To Disclosure
Under Any Open Records or Public Disclosure Law*

The City Attorney's Office recommends the Development Services Department decide this application in the following manner:

☒ Approval ☐ Disapproval ☐ Return to Applicant

Again, this is the recommendation of the City Attorney's Office. It is not and shall not be taken as nor substituted for the decision of the Director of the Development Services Department.

Reviewed By:


Norbert J. Hart
Assistant City Attorney

Date: March 25, 2004

Comments: Recommend approval effective April 27, 1998. POADP was approved April 27, 1998 and the plat was filed April 29, 1998, approved May 13, 1998, and filed for record June 12, 2004.



City of San Antonio

New

Vested Rights Permit

Application

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LAND DEVELOPMENT
SERVICES DIVISION

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3. Council District n/a ETJ Y Over Edward's Aquifer Recharge ☐ yes ☒ no



MACINA BOSE COPELAND & ASSOC., INC.
1035 CENTRAL PARKWAY NORTH
SAN ANTONIO, TX 78232
(210) 545-1122

REMITTANCE ADVICE

30-76/1140

25507

CHECK
AMOUNT

PAY

DOLLARS

DATE	TO THE ORDER OF	DESCRIPTION	CHECK NO.	CHECK AMOUNT
03/10/04	City of San Antonio	28666 VBR fee	25507	\$ 160.00

VRP# 04-03-077



JEFFERSON STATE BANK
P.O. BOX 5190 SAN ANTONIO, TEXAS 78201-0190
(210) 734-4311

[Signature]

⑈025507⑈

⑈114000763⑈

⑈10077755⑈